



NYC FIRE CODE TRAINING

CUNY SOLAR + STORAGE INSTALLERS WORKSHOP 2021



ROOFTOP ACCESS

April 28, 2021
John Ingenito

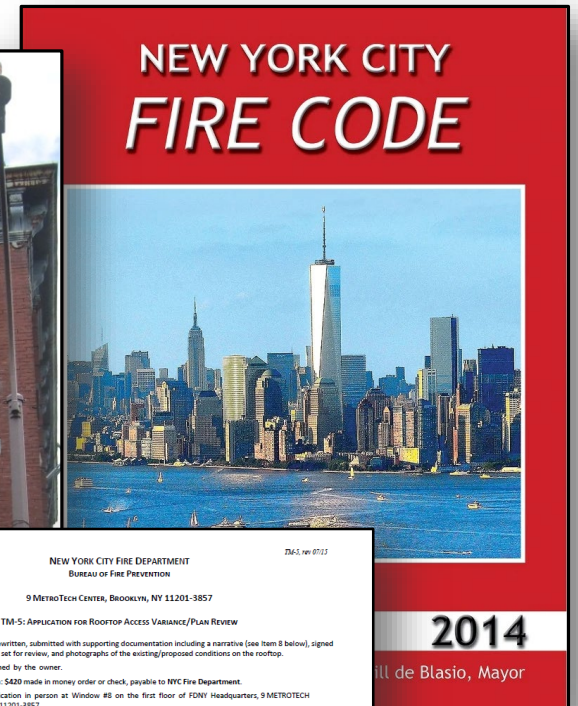




OVERVIEW



1. Firematics & Operations
2. 2014 NYC Fire Code:
Sections FC504.4 & FC512
3. Common Non-Compliant
Installations, Solutions
and How to File



NEW YORK CITY FIRE DEPARTMENT
BUREAU OF FIRE PREVENTION
9 METROTECH CENTER, BROOKLYN, NY 11201-3857
TM-5: APPLICATION FOR ROOFTOP ACCESS VARIANCE/PLAN REVIEW

• FDNY TM-5 must be typewritten, submitted with supporting documentation including a narrative (see item 8 below), signed and sealed 11"x17" plan set for review, and photographs of the existing/proposed conditions on the rooftop.
• Section 11 must be signed by the owner.
• Fee for Plan Examination: \$420 made in money order or check, payable to NYC Fire Department.
• Submit completed application in person at Window #8 on the first floor of FDNY Headquarters, 9 METROTECH CENTER, BROOKLYN, NY 11201-3857.
• Consult the [FDNY Technology Management Bulletin #2/2011](#) for specific plan preparation instructions.

1 Filing Status (required for all applications):		
Variance Sought for: <input type="checkbox"/> Proposed and/or <input type="checkbox"/> Existing Condition(s)		
<input type="checkbox"/> Initial Filing	<input type="checkbox"/> Resubmission (provide previously assigned FPMS number, and attach copy of objection letter): FPMS No(s):	
2 Premises Information (required for all applications):		
House No(s):	Street Name:	
Borough:	ZIP:	
BIN:	Affected Floors:	
3 Applicant Information (required for all applications):		
Last Name:	First Name:	Middle Initial:
Business Name:	Business Tel:	
Business Address:	City:	State: ZIP:
E-Mail:	License No:	
Choose One: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		
4 Owner Information (required for all applications):		
Last Name:	First Name:	Middle Initial:
Business Name:	Business Tel:	
Business Address:	City:	State: ZIP:
E-Mail:	Mobile Tel:	
5 Filing Representative (if applicable):		
Last Name:	First Name:	Middle Initial:
Business Name:	Business Tel:	
Business Address:	City:	State: ZIP:
E-Mail:	Expeditor Registration No:	



FIREMATICS & OPERATIONS





NEW YORK'S BRAVEST

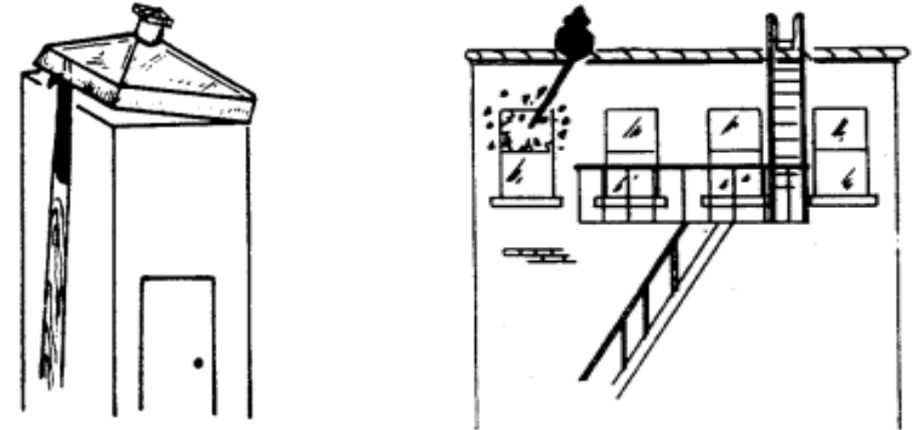
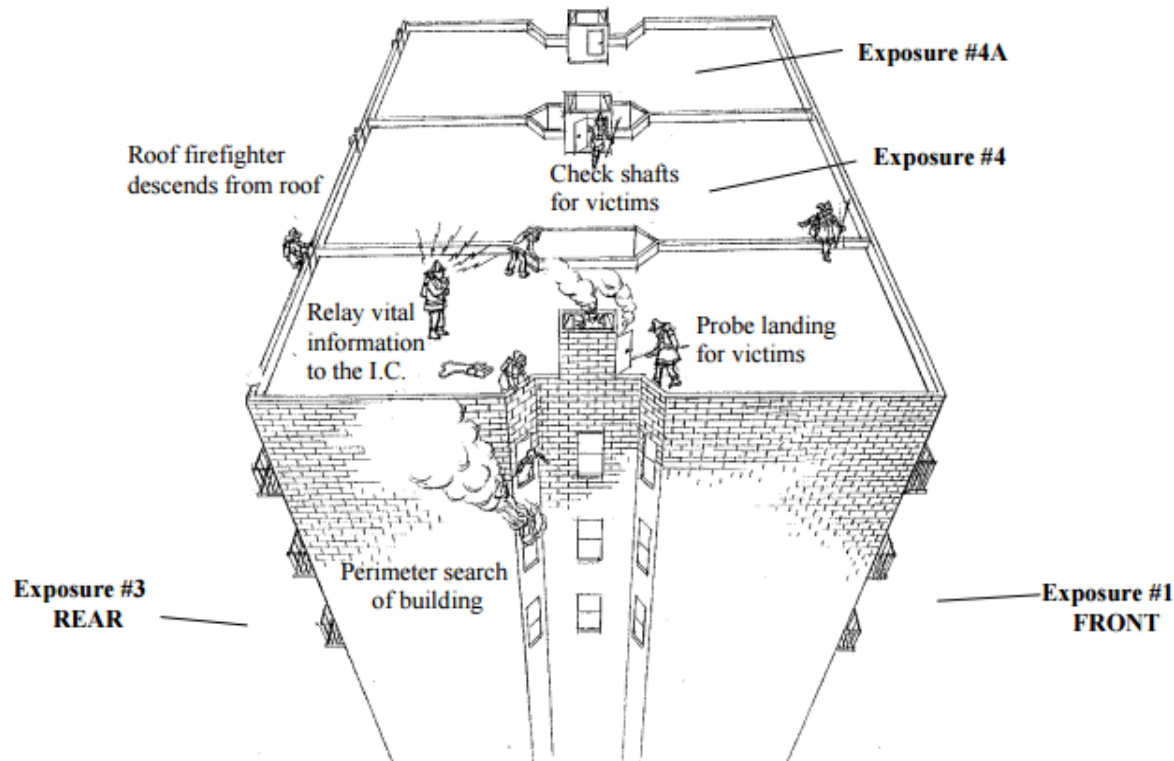


NOTHING SHALL DETER THE MEMBER
ASSIGNED THE ROOF POSITION FROM
CARRYING OUT THE ASSIGNED DUTIES.



ROOF POSITION REQUIREMENTS

- A **perimeter search** shall include the sides, rear and shafts of the building.
- Transmitting **vital information** to the Incident Commander.



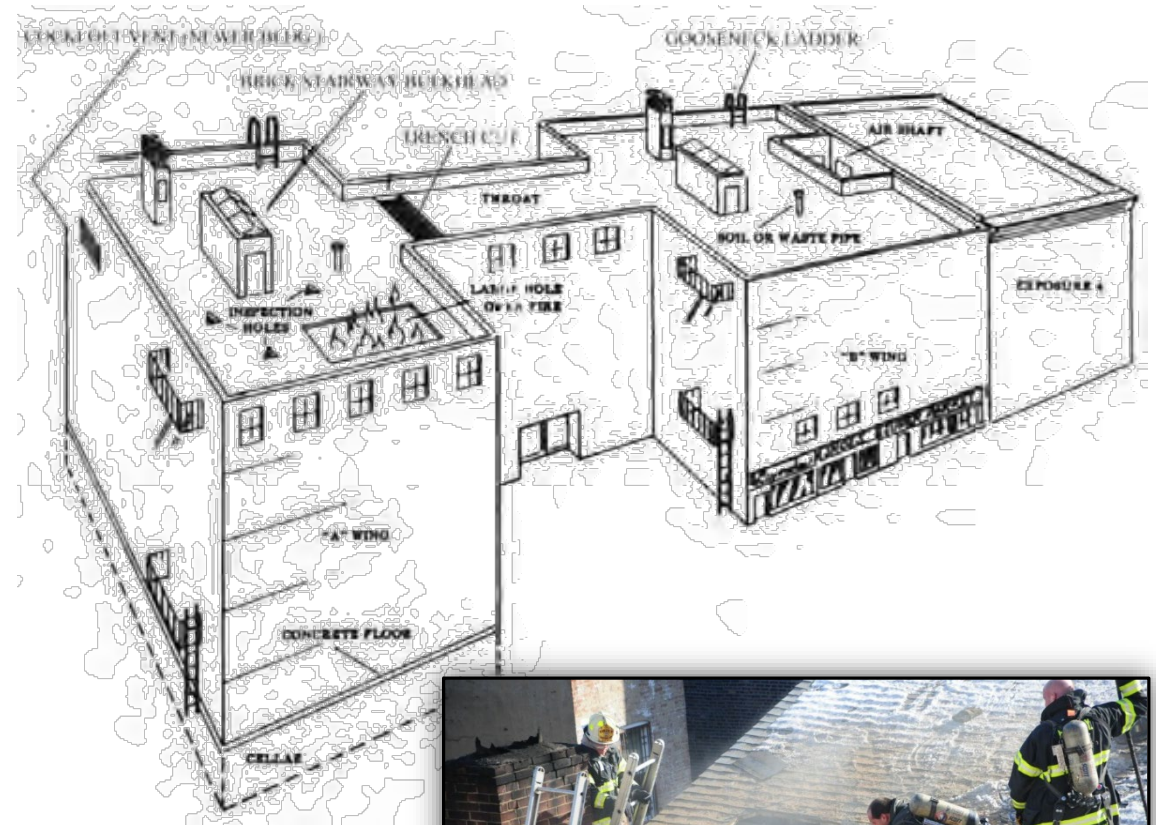
- **Roof ventilation** Via opening bulkhead doors, breaking upper level windows and skylights, opening hatches, cutting the rooftop etc.



VENTING AND TRENCH CUTS

Rooftop Venting is Key in the early stages of the Fire Operations and is critical for:

- Relieving the upper portions of the building of heat, smoke and gases
- Increasing survival time of evacuating, trapped or unconscious victims.
- Making Search and Rescue operations more efficient and effective
- Increasing efficiency and effectiveness of hose operations and extinguishment
- Limiting horizontal spread





2014 NYC FIRE CODE: SECTIONS FC504.4

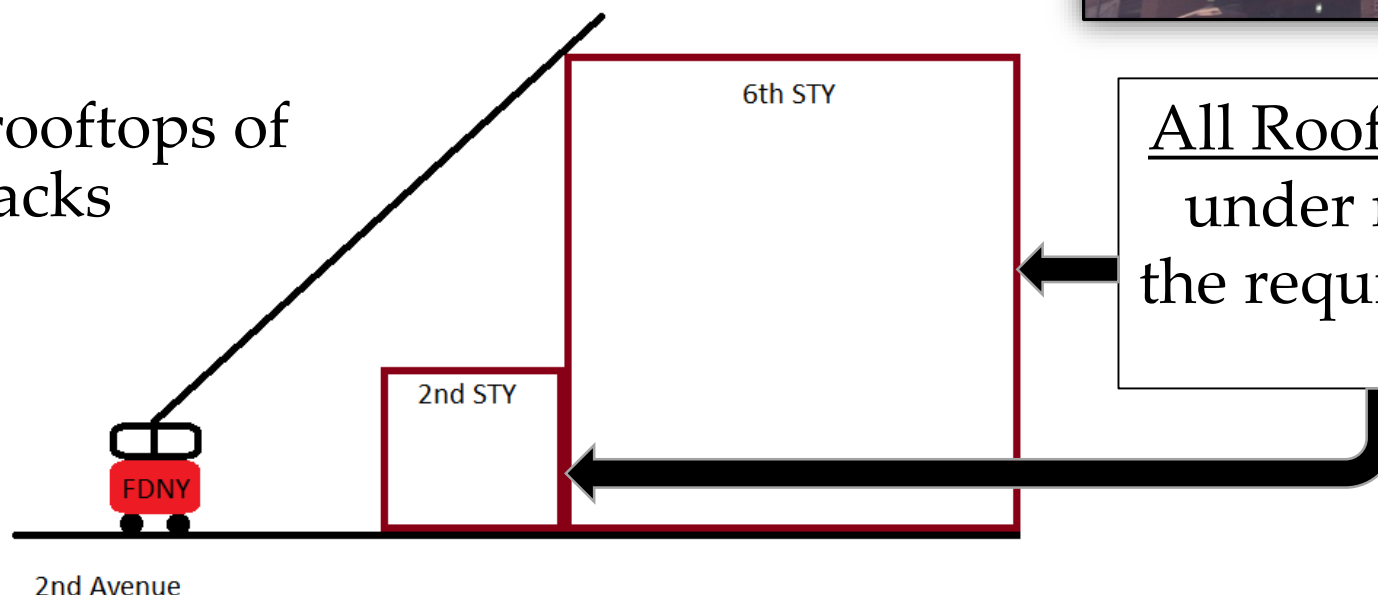
ROOFTOP ACCESS AND OBSTRUCTIONS





OVERVIEW OF FC504.4

- 2014 Fire Code effective as of March 30th, 2014
- Buildings that are 100 feet or less in height and have a slope of 20 degrees or less
- Includes the rooftops of building setbacks



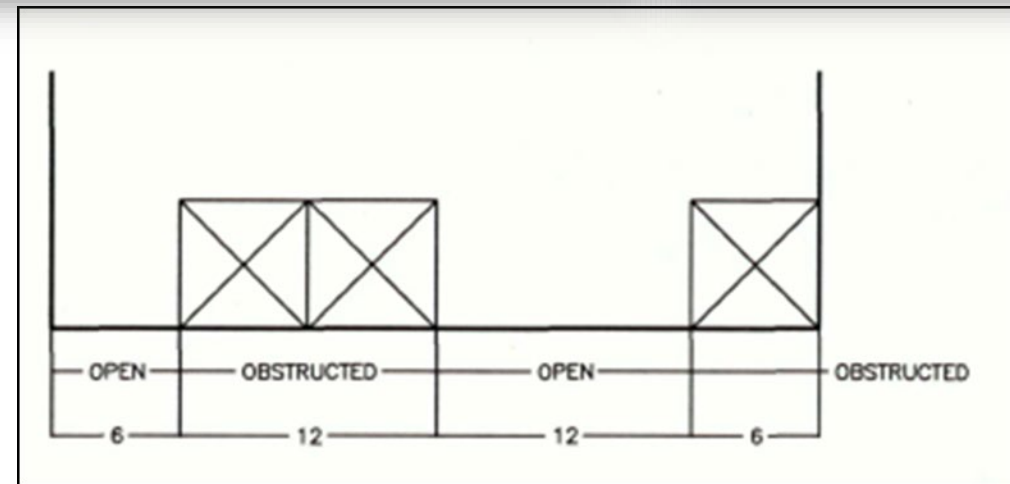
All Rooftop Levels 100' and under must comply with the requirements of FC504.4



PERIMETER ACCESS OPENINGS

FC504.4.1

- Every 12 FEET of frontage width requires 6 FEET open
- There can be NO MORE than 12 FEET of obstructed rooftop area between distinct openings
- Pattern depends on building size
- Only calculated for an apparatus accessible exposure
 - Includes side streets, parking lots and exposures where a truck can drive



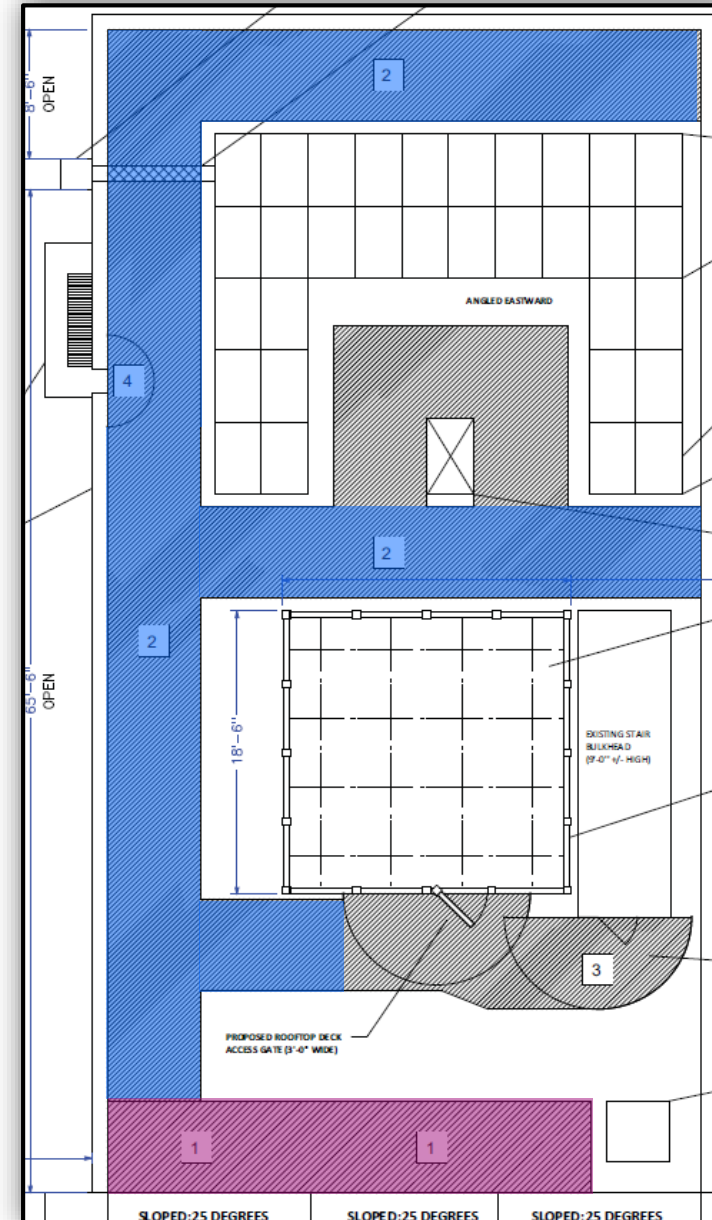


PERIMETER ACCESS OPENINGS



FC504.4.3

- Perimeter access location shall be a min. of 6' in each direction & connect to clear path
- Fence shall not obstruct access landing and shall provide access to clear path via gate.
- Gates
 - 3' wide, inward swinging
 - May be secured by padlock or chain
 - Able to be cut by standard bolt cutter



• Clear Path

• Perimeter Access



LANDING AREA MEASUREMENTS



- Measurements are taken from inside face of parapet wall
- Raised/Decorative Parapets: Indicate height of all segments





LANDING AREA MEASUREMENTS

SLOPED PARAPETS: “Usable” Rooftop Perimeter Access Landing Area begins where slope meets flat portion of roof.



DECORATIVE CORNICES: Not considered “usable” as part of the Perimeter Access Landing Areas. Calculations must begin on the main rooftop level and after the termination of the façade wall.



PERIMETER ACCESS OBSTRUCTIONS



FC504.4.1[5]

Structures affixed to an exterior building wall below the roof line shall not obstruct fire apparatus aerial ladder access to the rooftop perimeter access locations. Including but not limited to:

- Sun Control Devices
- Awnings
- Solar Panels
- Fire Escapes





SCAFFOLDING & SIGNAGE



- FC504.4.1[6]
 - Existing scaffolding modified to provide access onto rooftop
 - New scaffolding be designed to provide secure landings onto rooftop



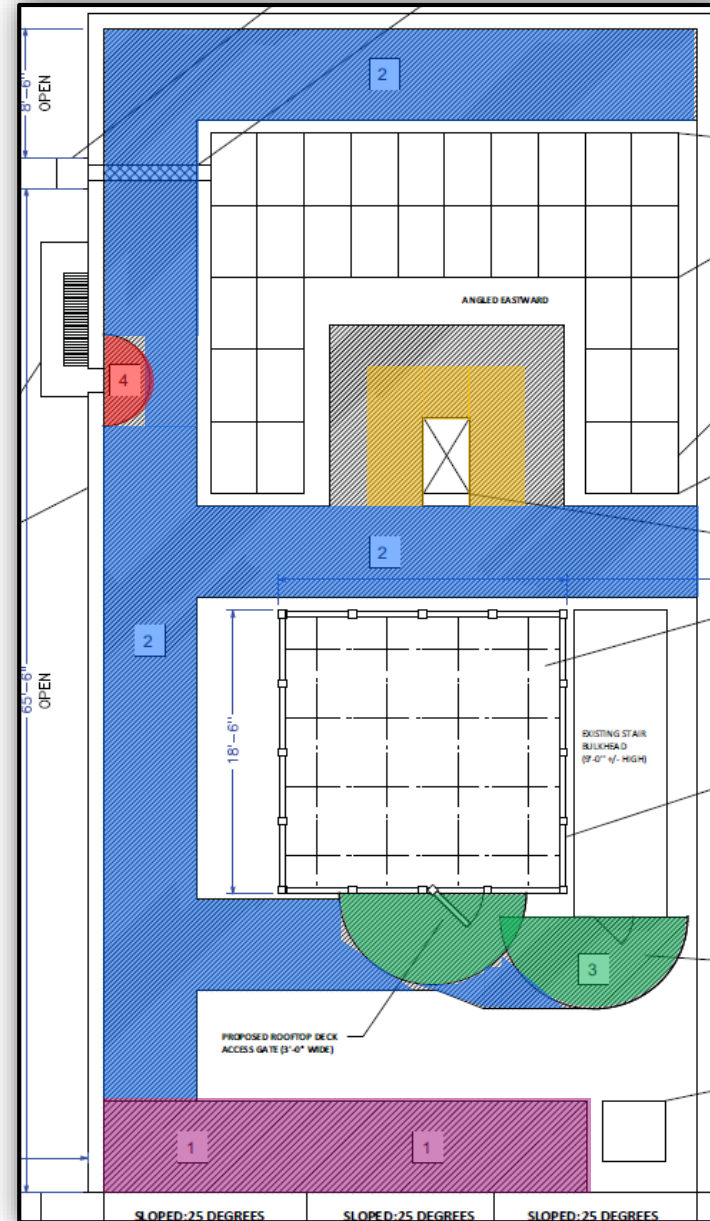
- FC504.4.2
 - Rooftop access signs and markings TBD by Fire Department through plan examination



CLEAR PATHS AND CLEARANCES



- FC504.4.4
 - Clear path is 6' wide & 9' tall
 - Traverses front to rear & side to side
 - Distinct clear path every 100 linear feet.
- FC504.4.4[1]
 - Clear path connects to access landings
- FC504.4.4[2]
 - Fire escape, bulkhead door, scuttles, skylights shall be accessible from clear path
 - 3' wide access around scuttles & skylights on 3 sides
- FC504.4.4[3] see FC504.4.7
- FC504.4.4[4]
 - Fences crossing clear path shall provide gate(s)



- Clear Path
- Fire Escape
- Door Clearance
- Skylight Clearance
- Perimeter Access



CLEAR PATHS AND CLEARANCES



FC504.4.6

- Required rooftop clearances
 - Roof door: 6' clear radius from hinge
 - Fire Escape & Roof Ladders: 3' clear radius from each side of the ladder or landing



CODE INTERPRETATION: CLEARANCE FOR SCUTTLE AND SKYLIGHT “TO THE MAXIMUM EXTENT PRACTICABLE”

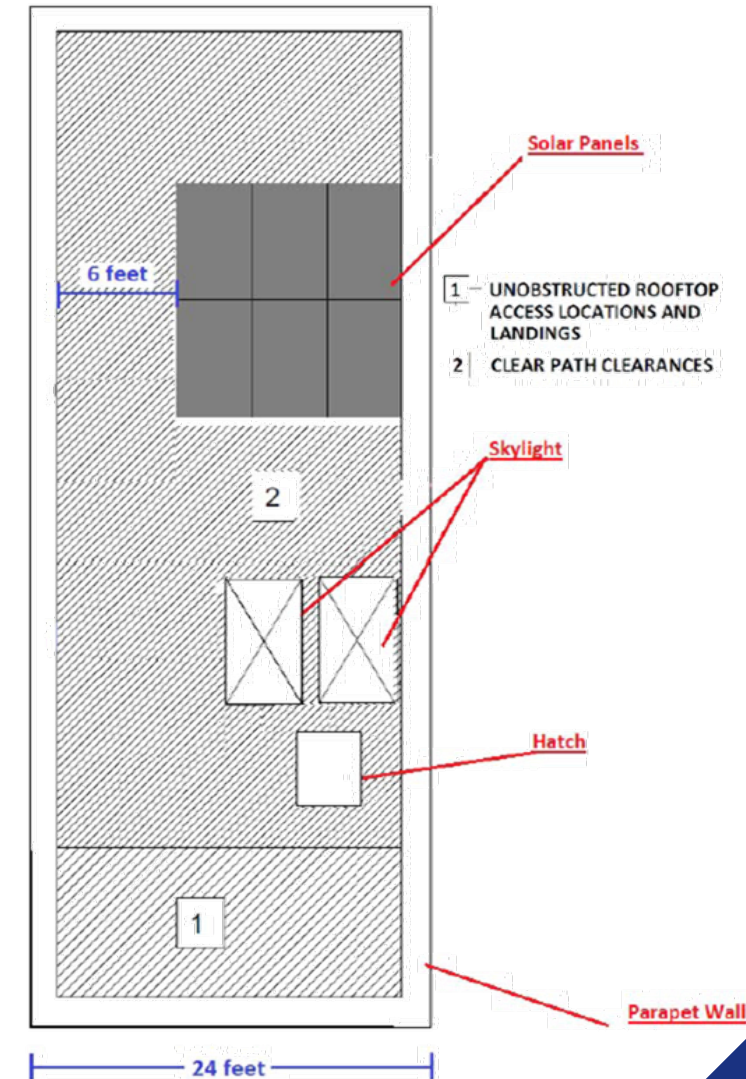


Summary of the guidelines:

For Rooftops constructed pursuant to plans approved by DOB or the FDNY on or before December 31, 2017 Scuttles and Skylights that do not have 3 feet of clearance on 3 sides will be considered to be in compliance with FC504.4 when clearance is limited by any parapet wall or Qualifying Encroachment :

- Attic ventilator
- Chimney
- Plumbing ventilation pipe
- Freestanding HVAC condenser with a capacity of 5 tons or more.
- Bulkhead
- Hatch
- Scuttle
- Skylight

Note: This does not mean that the Rooftop itself is in compliance with FC504.4. Upon alteration to the rooftop any other non compliant features, including obstructions to the required Scuttles and Skylights clearance that are not listed above, will trigger the requirement to file with the FDNY.





CODE INTERPRETATION: CLEARANCE FOR SCUTTLE AND SKYLIGHT “TO THE MAXIMUM EXTENT PRACTICABLE” -FULL TEXT-



Frequently Asked Question #37 of Chapter 5 of the Fire Code Guide
<http://www1.nyc.gov/assets/fdny/downloads/pdf/business/nyc-fire-code-guide.pdf>

The skylight and scuttle clearance requirement is intended to provide firefighters access to these building features to allow heat and smoke to be vented from the building during a fire. Such venting facilitates interior firefighting operations and helps control fire spread. Clearance in several directions affords firefighters the maneuverability they need to breach the skylight or open the scuttle, and allows firefighters to remain upwind of the heat and smoke that pours out once they accomplish this task.

By stating “to the maximum extent practicable,” the Fire Code recognizes that an owner’s ability to provide three feet of clearance around rooftop skylights and scuttles may be constrained by the layout of the rooftop. It would be impossible or impracticable to move parapet walls and other permanent building features that lie within three feet of a skylight or scuttle (including most building features termed “Qualifying Encroachments” in Frequently Asked Question #38 of Chapter 5 of the Fire Code Guide).

Accordingly, the Fire Department interprets the “maximum extent practicable” language of FC504.4.4(2) with respect to skylight/scuttle clearance as follows:

A skylight or scuttle will be deemed in compliance with FC504.4.4(2), even though there is less than three feet of clearance on three of its sides, when:

- 1.the rooftop was constructed pursuant to plans approved by the Department of Buildings or Fire Department on or before December 31, 2017; and**
- 2.the clearance is limited by any parapet wall or Qualifying Encroachment – attic ventilator, bulkhead, chimney, hatch, plumbing ventilation pipe, scuttle, skylight, or roof-mounted heating/air conditioning equipment (HVAC) – except a freestanding HVAC condenser with a capacity of 5 tons or less.**

A solar, telecommunications or other rooftop installation will not be disapproved by the Department of Buildings and/or the Fire Department based on the lack of the required skylight/scuttle clearance, provided it meets the foregoing guidelines.

Newly-designed and constructed buildings should provide such clearance or obtain a modification (variance) from the Fire Department in accordance with **FC104.8**. An applicant unable to comply with any other requirement of **FC504.4.4** also may request a modification.



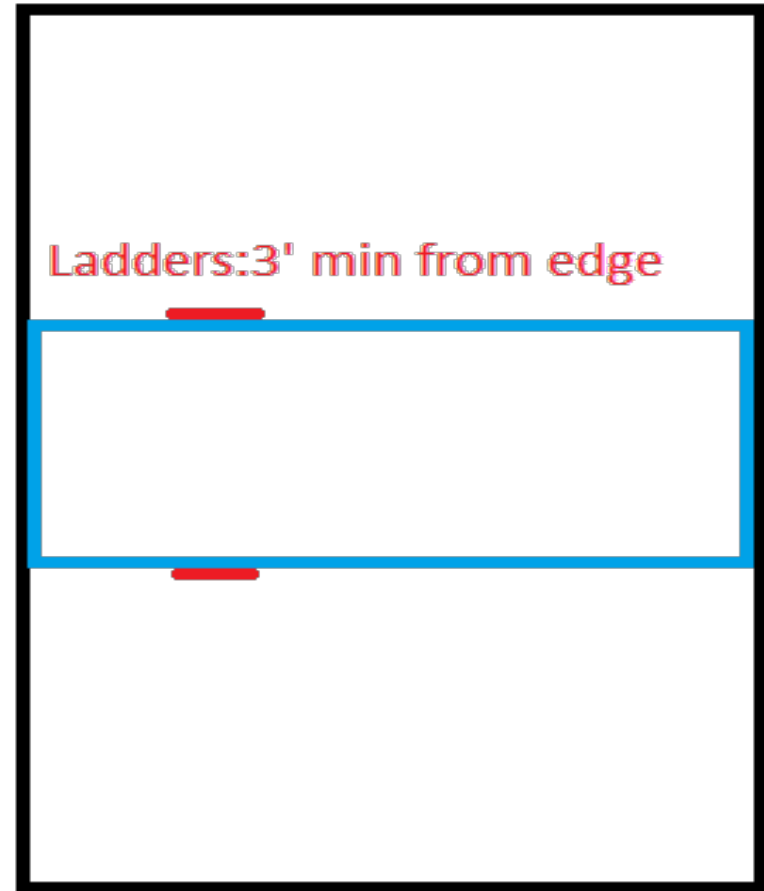
CLEAR PATHS: MULTIPLE ROOF LEVELS



FC504.4.4[5]

Ladders or other approved means must be provided for elevation differences of 16 feet or less

Exception: setback is less than 6'
(No ladders)



24' OPEN
123 Front Street



IRREGULAR SHAPED BUILDINGS FC504.4.4[6]



REQUIRE ADDITIONAL CLEAR PATHS

Example: “H” shaped buildings



- Each wing of the building will need its own clear path from front to rear and side.
- All the wings clear paths must connect to each other.
- There must be a clear path that goes across the throat of the building
- The throat of the building must have a path from front to rear and side to side.



ROOFTOP CLEAR PATH PROTECTION



FC504.4.5

- Consists of 42" high (measured from roof surface) railing, parapet or barrier.
- Provided for open shafts, building perimeter and/or unprotected elevation differences along the clear path.

Exception:

Height differentials of 6 feet or less.





MAINTAIN ROOFTOP FUNCTIONALITY



Rooftop installations shall **Not** obstruct or interfere with the normal functions of a rooftop such as drainage



FC504.4.7 & FC504.4.8



- Conduits and Piping FC504.4.7
 - Labeled as required
 - Considered obstructions if greater than 12" ht or 24" width, non-combustible crossover required.
- Telecommunications Installations FC504.4.8
 - Transmitter labeling
 - Signage as required for antennas, powered equipment, and related equipment



ROOFTOP GARDENS & GREEN ROOFS



- FC504.4.9
 - Shall not cause obstruction to required rooftop access, clear path, or rooftop door/fire escape clearances
 - Vegetation shall not exceed 12" in height
- FC318.5 & Plumbing Code 429.1
 - Hose connection to an approved water supply required for square footage exceeding 250 sq ft





ROOFTOP SOLAR FC504.4.10



Rooftop solar installations shall be designed, installed, operated and maintained in accordance with FC512



2014 NYC FIRE CODE: SECTION FC512

ROOFTOP SOLAR PANEL INSTALLATIONS





OVERVIEW OF FC512



- Solar Panel on Flat Roofs shall comply with all requirements of FC504.4

Exception to the clear path requirement:

- **Approved** hinged mechanism for **clear path** obstructed by solar panels, NEEDS FD Certificate of Approval, TM-2 App.
(FC 512.2[1])
- Acceptable encroachments on the **clear path** for narrow buildings, 25 feet or less
(FC 512.2[2])





CLARIFICATION OF FC512.2[2]



Summary of the guidelines:

FC512.2[2] allows for “Qualifying Encroachments” to encroach upon the clear path to a limited extent and under the following circumstances:

- 1) The building rooftop must be 25 feet or less in width and/or depth
- 2) The design of the solar panel installation necessitates substantial rooftop coverage
- 3) The encroachment does not reduce the width of the clear path beyond the amount approved by the Fire Department. [minimum width of 4 feet]
- 4) Qualifying Encroachments may not limit the perimeter access landing areas or any required rooftop clearances other than the clear path unless otherwise permitted under separate FDNY guidelines.
- 5) Proposed installation must be filed with DOB or the FDNY for full plan review.
 - **PROFESSIONAL CERTIFICATION MAY NOT BE USED IN LIEU OF PLAN REVIEW**
- 6) Installation must comply with all other requirements of the fire code including those of FC504.4



CLARIFICATION OF FC512.2[2]

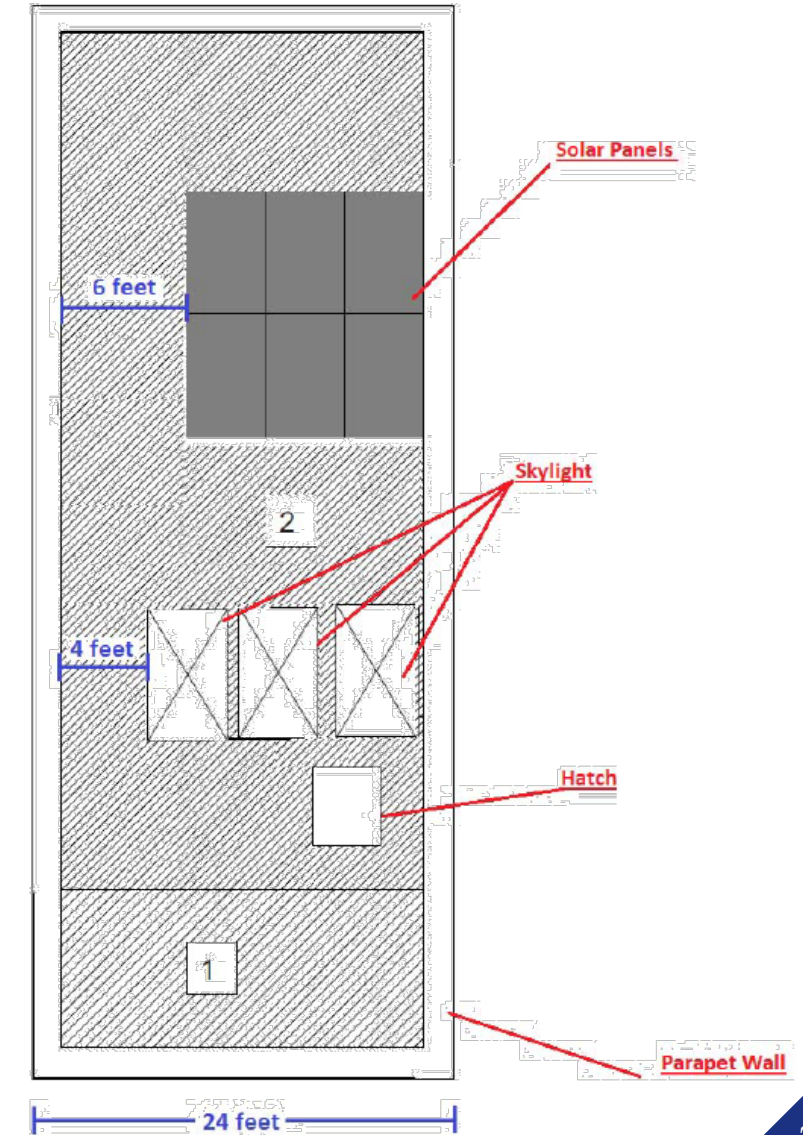


Qualifying Encroachments :

- Attic ventilator
- Chimney
- Plumbing ventilation pipe
- Freestanding HVAC condenser with a capacity of 5 tons or more.
- Bulkhead
- Hatch
- Scuttle
- Skylight

Solar Panels are NOT considered to be a Qualifying Encroachment and may not limit the clear path

- 1 UNOBSTRUCTED ROOFTOP ACCESS LOCATIONS AND LANDINGS
- 2 CLEAR PATH CLEARANCES





CLARIFICATION OF FC512.2[2] -FULL TEXT-



PENDING CODE REVISION OR RULE PROMULGATION, THE FIRE DEPARTMENT WILL IMPLEMENT FC512.2 BY APPLYING THE FOLLOWING INTERIM GUIDELINES TO ROOFTOP CLEAR PATH ENCROACHMENTS BY PERMANENT BUILDING FEATURES:

Frequently Asked Question #39 of Chapter 5 of the Fire Code Guide
<http://www1.nyc.gov/assets/fdny/downloads/pdf/business/nyc-fire-code-guide.pdf>

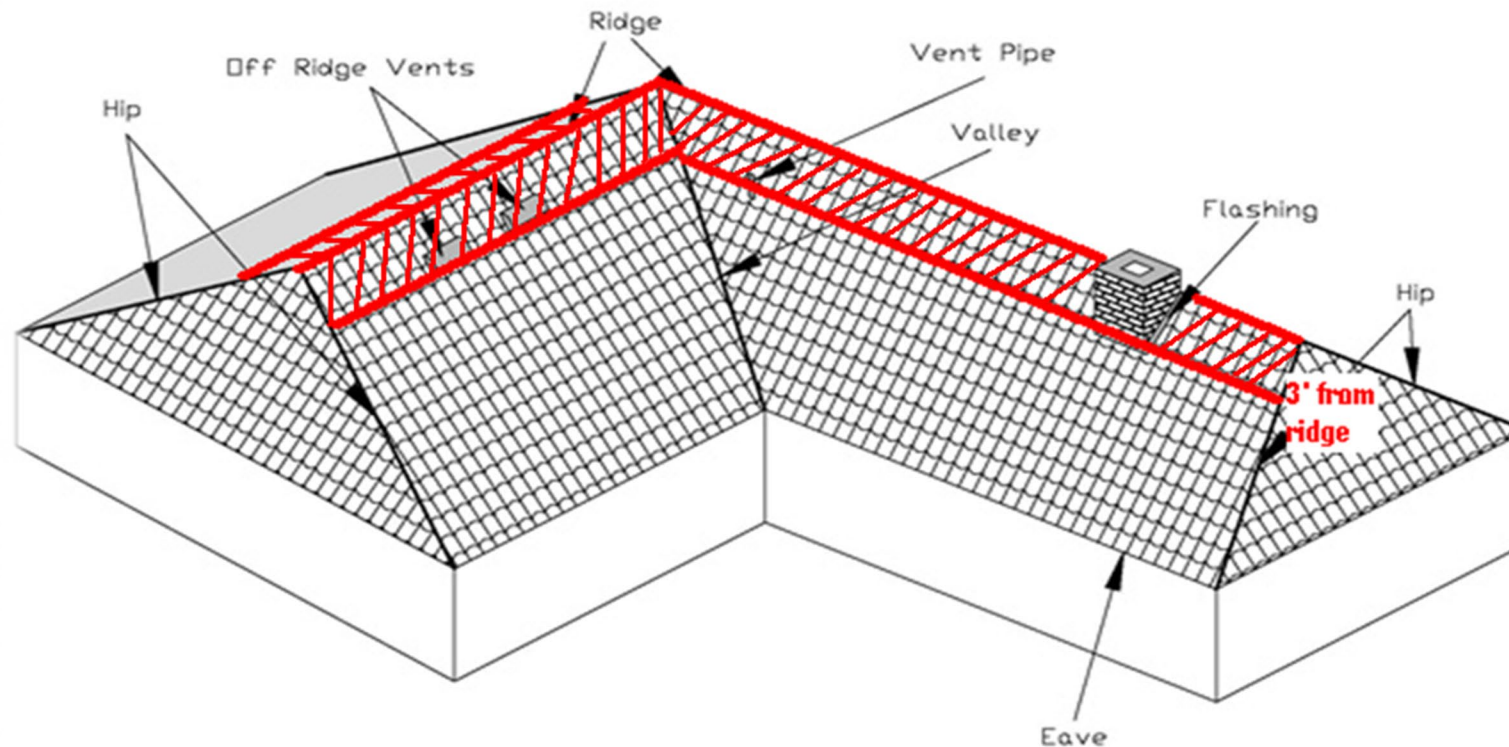
- 1) The building rooftop has a width or depth of not more than 25 feet; and
- 2) The filed plans indicate (in a note or other approved manner) that encroachment on the clear path is necessary to accommodate the design of the solar installation, which requires coverage across all or substantially all of one or more of the rooftop dimensions; and
- 3) Only the following permanent obstructions (“Qualifying Encroachments”) may encroach upon and thereby reduce the clear path width at one or more locations: attic ventilators; bulkheads; chimneys; hatches; plumbing ventilation pipes; scuttles; skylights; and roof-mounted heating, air conditioning equipment; and
- 4) The 6-foot rooftop clear path width required by **FC504.4** shall be provided and maintained across the rooftop in accordance with **FC504.4**, except that Qualifying Encroachments may encroach upon and reduce the width of such clear path up to 2 feet (24 inches). The Qualifying Encroachments are not limited in length or height, but shall not reduce the width of the clear path at any point to less than 4 feet (48 inches); and
- 5) The Qualifying Encroachments may not encroach upon the rooftop landing areas required by **FC504.4.3**, which shall be kept free of obstructions for the required six-foot by six-foot dimension; and
- 6) The rooftop solar panel installation is filed with the New York City Department of Buildings for full plan review in accordance with that agency’s filing procedures (not under professional certification in lieu of plan review), or is filed with the Fire Department’s Bureau of Fire Prevention for plan review in accordance with Fire Department filing procedures; and
- 7) The solar panel installation complies with all other Fire Code requirements, including all other requirements of **FC504.4**.

The Department of Buildings will approve a solar panel installation with Qualifying Encroachments in the clear path (and the Fire Department will approve a rooftop access plan with such encroachments) if the plan meets these guidelines.



PITCHED ROOFTOPS

- Solar Panels on Pitched Roofs, greater than 20°
 - Provide 3 feet of clearance along BOTH sides of the ridgeline of each roof (FC 512.3.1 & FC 512.3.2)





PITCHED ROOFTOPS



- Location of Panels & Markings (FC 512.4)
 - Locate conduits along dips and valleys away from ridge line (peaked roofs)
 - Solar panel equipment shall be labeled:
“WARNING: PHOTOVOLTAIC POWER SOURCE”
in white capital letters no less than 3/8” in height on a red background



ALLOWANCE FOR ONE OR TWO FAMILY DWELLING



Summary of the guidelines:

One or two family dwelling whose slope is 9.5 degrees or greater do not have to comply with the requirements FC504.4.

HOWEVER

These rooftops instead must comply with FC512.3. You must provide 3 feet of clearance along BOTH sides of the ridgeline of each roof



ALLOWANCE FOR ONE OR TWO FAMILY DWELLING -FULL TEXT-



ACCORDINGLY, PENDING CODE REVISION OR PROMULGATION OF A RULE, THE FIRE DEPARTMENT WILL INTERPRET FC504.4 AND FC512.3 IN ACCORDANCE WITH THE FOLLOWING INTERIM GUIDELINES:

Frequently Asked Question #35 of Chapter 5 of the Fire Code Guide

<http://www1.nyc.gov/assets/fdny/downloads/pdf/business/nyc-fire-code-guide.pdf>

- 1) A one or two-family home with a shallow-pitched roof (a roof slope of not less than 2/12, or 9.5%) shall comply with FC512.3, not FC504.4.
- 2) A one or two family dwelling that is primarily a flat-roof building shall comply with FC504.4, even if a portion of the roof is shallow-pitched or has a pitch exceeding 20%. For example, a brownstone-type building shall comply with FC504.4, not FC512.3, notwithstanding it having a pitched roof element (such as a mansard) or a penthouse or bulkhead with a pitched roof.
- 3) A shallow-pitched or pitched portion of the building rooftop must be kept free of obstructions if it can be traversed to gain access onto, or across, the otherwise flat roof. Owners may request guidance from the Bureau of Fire Prevention as to the appropriate treatment of shallow-pitched or pitched portions of flat-roofed buildings.
- 4) This interim guideline shall not apply to shallow-pitched roofs on buildings other than one or two family dwellings (Occupancy Group R-3).



COMMON NON-COMPLIANT INSTALLATIONS, SOLUTIONS AND HOW TO FILE





WHAT REQUIRES AN APPLICATION?



Non-compliance, whether its existing or proposed

&

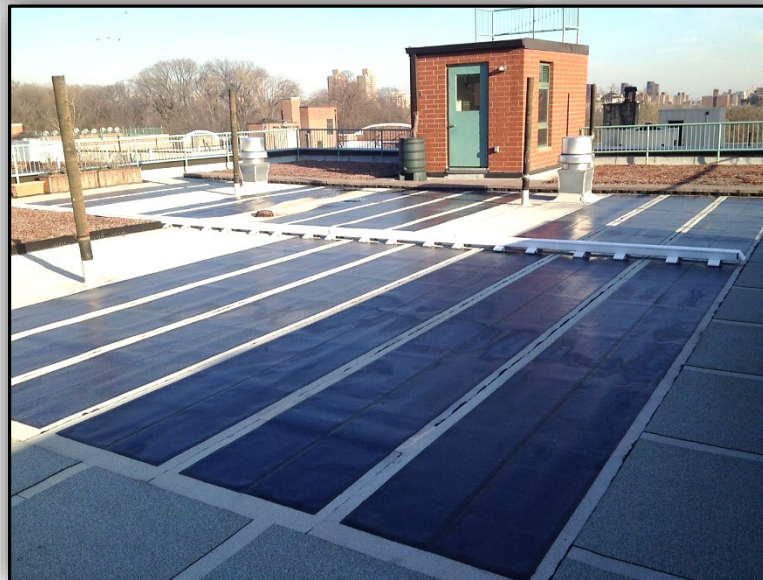
Any of the following:

- New equipment on a rooftop including: Cell Sites, Solar/PV Arrays, HVAC, Fencing
- Vertical Enlargements (penthouses, bulkheads, new floors)
- Accessory/Incidental use of roof: deck, bar, greenhouse
- Green Roofs, Blue Roofs
- New Building Construction
- Cantilever buildings

Note: All rooftop access designs falling under the above mentioned situations may **NOT** be self-certified by a PE or RA. They must be submitted to the FDNY Rooftop Access Unit for review.



EXAMPLES OF NON-COMPLIANCE





THE STAIR TO NOWHERE!!!!!!



YES!
**THIS IS ACTUALLY
SOMETHING WE
FOUND ON A ROOFTOP.**





WHAT DOES NOT REQUIRE AN APPLICATION?



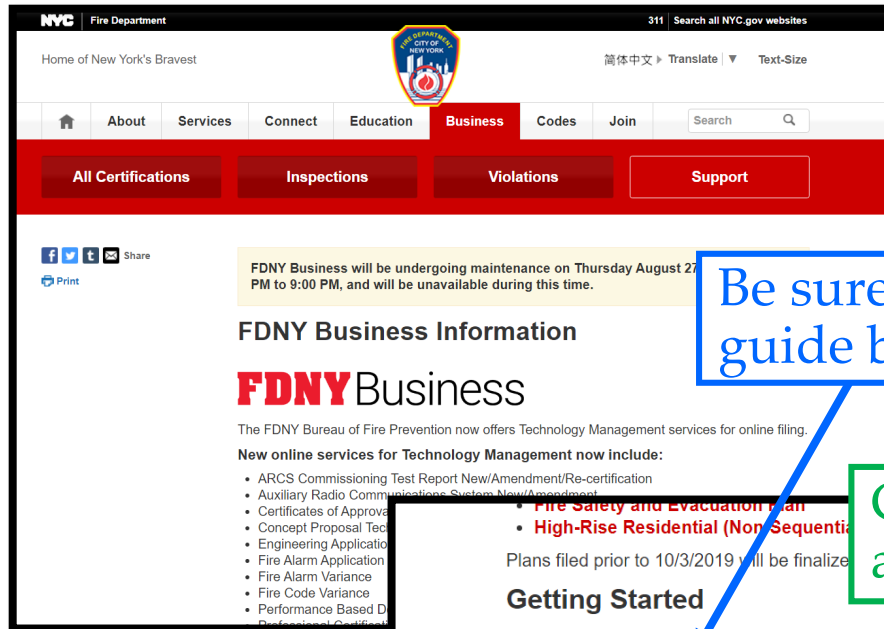
- Work on rooftops that are over 100' in height.
- Ordinary repair and maintenance on roofs which includes but not limited to:
 - Reroofing
 - Repair parapet
 - Façade repair
 - Like for like replacement of equipment that is **NOT** an upgrade of equipment



HOW TO FILE A ROOFTOP VARIANCE

Apply through the FDNY Business Portal

<https://www1.nyc.gov/site/fdny/business/support/fdny-business.page>



Be sure to read this guide before filing

Click here to create a new account

Returning users can Log In here

Note:

Be sure to follow this Path:

Select "[Design and Installation](#)"

Then "[Technology Management Application](#)"

Finally select "[Rooftop Variance](#)"

DO NOT SELECT FIRE CODE VARIANCE.

FIRE CODE VARIANCE IS NOT USED FOR ROOFTOP VARIANCES



HOW TO FILE A ROOFTOP VARIANCE



Application Fees:

- New Application: \$420
- Resubmission Fees:
Not required provided that the application is resubmitted within 6 Months of the Letter of Deficiency's issuance date.

Required Docs:

- TM-5 Application
- 11"x17" plans original seal & signature
- Narrative for scope of work
- Photographs of current conditions on rooftop
- All other relevant docs such as determinations from other city agencies, FDNY summonses, etc.

Note: All docs must be in PDF format



TM-5 APPLICATION



NEW YORK CITY FIRE DEPARTMENT BUREAU OF FIRE PREVENTION

9 METROTECH CENTER, BROOKLYN, NY 11201-3857

TM-5: APPLICATION FOR ROOFTOP ACCESS VARIANCE/PLAN REVIEW

- FDNY TM-5 must be typewritten, submitted with supporting documentation including a narrative (see Item 8 below), signed and sealed 11"x17" plan set for review, and photographs of the existing/proposed conditions on the rooftop.
- Section 11 must be signed by the owner.
- Fee for Plan Examination: \$420 made in money order or check, payable to NYC Fire Department.
- Submit completed application in person at Window #8 on the first floor of FDNY Headquarters, 9 METROTECH CENTER, BROOKLYN, NY 11201-3857.
- Consult the [FDNY Technology Management Bulletin #2/2011](#) for specific plan preparation instructions.

1 Filing Status (required for all applications):	
Variance Sought for: <input type="checkbox"/> Proposed and/or <input type="checkbox"/> Existing Condition(s)	
<input type="checkbox"/> Initial Filing	<input type="checkbox"/> Resubmission (provide previously assigned FPIMS number, and attach copy of objection letter): FPIMS No(s):

2 Premises Information (required for all applications):			
House No(s):		Street Name:	
Borough:	ZIP:	Block:	Lot:
BIN:		Affected Floors:	

3 Applicant Information (required for all applications):				
Last Name:		First Name:		Middle Initial:
Business Name:		Business Tel:		
Business Address:		City:	State:	ZIP:
E-Mail:		License No:		
Choose One: <input type="checkbox"/> P.E <input type="checkbox"/> R.A				

4 Owner Information (required for all applications):				
Last Name:		First Name:		Middle Initial:
Business Name:		Business Tel:		
Business Address:		City:	State:	ZIP:
E-Mail:		Mobile Tel:		

5 Filing Representative (if applicable):				
Last Name:		First Name:		Middle Initial:
Business Name:		Business Tel:		
Business Address:		City:	State:	ZIP:
E-Mail:		Expeditor Registration No:		

TM-5, rev 07/13

6 Job Type (required for all applications, choose all that apply):	
<input type="checkbox"/> Telecommunications Antennas and/or Equipment Company Name: _____	<input type="checkbox"/> Penthouse/New Floor(s) Number of Floors(if applicable): _____
<input type="checkbox"/> Solar Array and/or Equipment Size of Array (No. of Panels): _____	<input type="checkbox"/> Occupiable Rooftop <input type="checkbox"/> Rooftop Deck
<input type="checkbox"/> HVAC/MEP Equipment	<input type="checkbox"/> Rooftop Restaurant/Bar
<input type="checkbox"/> Green Roof/ Blue Roof	<input type="checkbox"/> Other (if needed): _____

7 DOB Filing Status (required for all applications):	
Filed with DOB? <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> Copy of PW-1, Schedule A and Certificate of Occupancy attached?	
(If yes above): DOB Application No(s):	

8 Nature of Modification (required for all applications):			
Compose a narrative description that addresses items 8a and 8b. Append the separate narrative to your submission packet.			
8a Explain, in detail, the specific nature of the modification sought, and describe the difficulty in complying with the requirements of the Fire Code or Fire Department Rule(s).			
8b Explain, in detail, how you propose to mitigate the effect of modifying the code or rule requirement. Include all measures intended to ensure public safety.			
8c Previously filed FDNY Variance Application(s) for the aforementioned prop erty. Indicate either FPIMS No(s) or FPIN(s), and status of filing (granted/objections/denied):			
8d Application submitted in response to an FDNY-issued violation, specifically for Rooftop Access/Obstructions? <input type="checkbox"/> NO <input type="checkbox"/> YES: (if yes, complete below the fields below) ▼			
NOV/VO/Summons	Number	Description	Disposition

9 Building Characteristics and Fire Protection Features (required for all applications):			
Occupancy Classification: _____	Building Height (ft): _____	<input type="checkbox"/> Fully Sprinklered	
Construction Classification: _____	Building Stories (No): _____	<input type="checkbox"/> Partially Sprinklered	
Construction Date: _____	Stairs Leading to Roof (No): _____	<input type="checkbox"/> Non-Sprinklered	
Fire Escape(s) to Roof? <input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> Standpipe	
Interior/Exterior Stair to Roof? <input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> Fire Alarm	

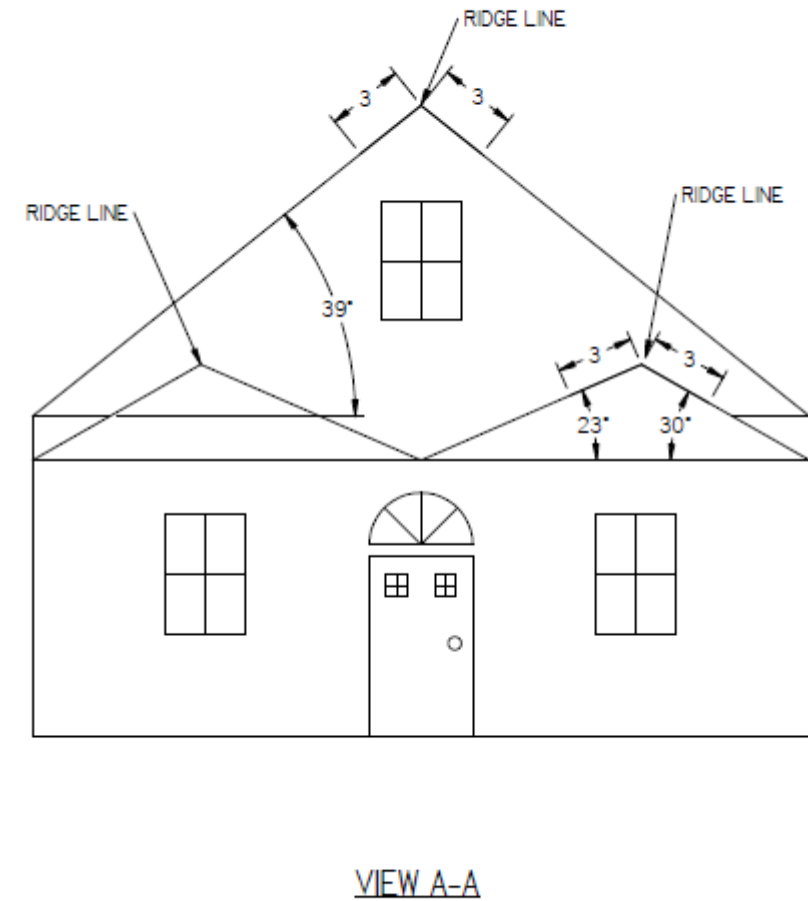
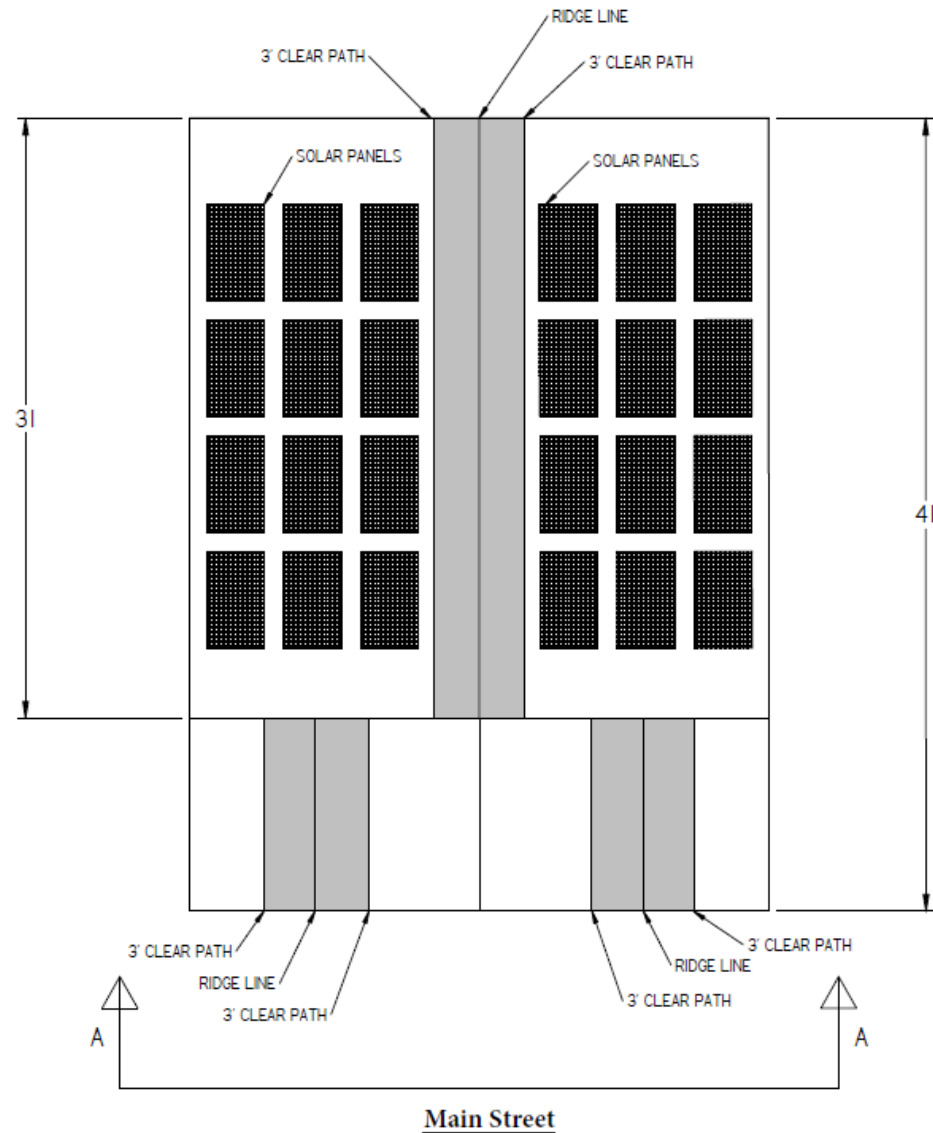
10 Applicant Certification (required for all applications):	
Under penalty of perjury, I certify that the information contained in this application is true, to the best of my knowledge.	
Applicant Name (please print): _____	
Signature ► _____	Date: _____

11 Owner Statement (required for all applications, must be signed by owner):	
I have authorized the applicant to file this modification with respect to the premises.	
Owner Name (please print): _____	
Signature ► _____	Date: _____





SAMPLE PLAN – PITCHED ROOF





ADDITIONAL RESOURCES



- Fire Code – Section FC504 and Section FC512: in the NYC Fire Code, specifically regarding rooftop access and clear path.
- New York City Fire Code Guide (Formerly FAQs): posted on the Fire Department's web site in response to many of the industry's questions.
- Office of Technology Management Bulletin #2/2011 (Rev. 4/2016): This is a guidance document for the convenience of the public. It does not substitute for any applicable laws, rules or regulations.



UNIT CONTACT INFORMATION



- Email us at: FDNY.BusinessSupport@FDNY.nyc.gov
- Chief of Technology Management: Chief Brian Cordasco
- Chief of Technology Management: Chief Paul Brincat
- Assistant Deputy Director of Tech MGMT: Winnie Lei, P.E.
- Rooftop Access Unit Supervisor: John Ingenito
- Plan Examiners: Fares Rezk, Gennadiy Lak and Erik Perez.
- Mailing Address:
Rooftop Access Unit, Tech MGMT, Room 3W-2,
9 MetroTech Center,
Brooklyn, NY 11201-3857